

R2015043431

**KAREN A. STUKEL
WILL COUNTY RECORDER**

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**KAREN A. STUKEL
WILL COUNTY RECORDER**

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BBMSB

**SIXTH AMENDMENT TO THE DECLARATION OF COVENANTS,
RESTRICTIONS, EASEMENTS, CHARGES AND LIENS FOR SPRINGBANK**

For re-recording to attach Exhibit E

*This Instrument was Prepared by and Mail to:
Greg A. Bouwer, Esq.
Koransky, Bouwer & Poracky, P.C.
425 Joliet Street, Suite 425
Dyer, IN 46311
(219) 865-6700*

**SIXTH AMENDMENT TO THE DECLARATION OF COVENANTS,
RESTRICTIONS, EASEMENTS, CHARGES AND LIENS FOR SPRINGBANK**

This instrument is the Sixth Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, made by OA Plainfield (Chicago) ASLI VI, L.L.L.P. (hereinafter "Covenantor") and Springbank Homcowners Association (hereinafter "Association").

WHEREAS, MAF Developments, Inc., the Original Covenantor, executed that certain Declaration of Covenants, Restrictions, Easements, Charges, and Liens for Springbank recorded November 8, 2005, in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2005196022; as amended by First Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, recorded in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2006067498 ("First Amendment"); Second Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, recorded in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2007006613 ("Second Amendment"); Third Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, recorded in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2007085808 ("Third Amendment"); Fourth Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, recorded in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2011111935 ("Fourth Amendment") and Fifth Amendment to the Declaration of Covenants, Restrictions, Easements, Charges and Liens for Springbank, recorded in the Office of the Recorder of Deeds of Will County, Illinois as Document No. R2015013027 ("Fifth Amendment") (hereinafter collectively, the "Declaration"); and

WHEREAS, MAF Developments, Inc., assigned all Covenantor's rights, title and interest under the Declaration to OA Plainfield (Chicago) ASLI VI, L.L.L.P. ("Covenantor") in an Assignment recorded as Document No. R2012024246, recorded in the Will County Recorder's Office on March 6, 2012;

WHEREAS, pursuant to the terms of Article VIII, Section 1, the Declaration may be amended by an amendment signed by Owners having at least sixty six percent (66%) of the total vote of the Owners;

WHEREAS, pursuant to the terms of Article VIII, Section 2 of the Declaration, the Declaration may be amended by the Covenantor without compliance with Article VIII, Section 1 of the Declaration; and

WHEREAS, Covenantor and Association now desire to amend the Declaration and intend hereby to so amend the Declaration.

NOW, THEREFORE, Covenantor and Association do hereby amend the Declaration as follows:

1. Except as expressly amended herein, the Declaration shall remain in full force and effect with its terms and conditions.

2. Article VI is amended by added the following Section 4:

Section 4. Architectural Standards and Procedures.

(a) Purposes. To establish and preserve a harmonious and aesthetically pleasing appearance within SPRINGBANK and to follow the anti-monotony policy of the Village, Covenantor hereby declares that all improvements on Lots, including Dwelling Units, shall be subject to the Architectural Standards adopted by the Covenantor from time to time.

Architectural Standards shall mean and refer to those architectural standards, use, regulations, guidelines and policies which shall be adopted from time to time and in force by the Covenantor and administered by the Covenantor as provided in this Declaration, that may differ from neighborhood to neighborhood, and shall initially mean and refer to Exhibit E, attached hereto and incorporated herein. Every grantee of an interest in the Development by acceptance of the deed or other conveyance of such interest agrees to be bound by the provisions in this Section 4.

(b) Architectural Standards. Covenantor is hereby authorized to adopt from time to time Architectural Standards which would govern and be administered by the Covenantor and which are hereinafter collectively referred to as Architectural Standards. The Architectural Standards shall control such matters with respect to Lots and Dwelling Units, including fencing, external materials, exterior staff, exterior care, exterior maintenance, location and landscaping of Lots; the contents of applications for the Covenantor; submission of plans, specifications and other required information; building height, construction quality and minimum building area restrictions; and such other matters as Covenantor shall deem from time to time to be necessary, desirable or appropriate for proper discharge of the duties and responsibilities of Covenantor. The Architectural Standards shall be administered by the Covenantor and enforced by the Covenantor, and all of its decisions shall be final. Any such Architectural Standards adopted by the Covenantor shall be binding and enforceable on all Owners with respect to all improvements located or proposed to be located within the portion of the Property specifically bound by same, which shall require the approval of the Covenantor, except as otherwise provided in the Declaration. It is contemplated that several versions of Architectural Standards may be adopted that may vary from neighborhood to neighborhood or among the portions of the Property, providing differing requirements among portions of SPRINGBANK. The Architectural Standards shall contain a section listing the Lots and the real property bound by same if they apply to less than the entire Exhibit A. Covenantor shall have the right, sole and absolute discretion, either upon its own initiative or upon application by an Owner, to grant a variation from the Architectural Standards established by Covenantor or any restriction contained in this Declaration, provided the variation is in harmony with SPRINGBANK and the variation will not have a material and detrimental impact on the remaining portions of SPRINGBANK, in the sole discretion of Covenantor, provided that single family detached Dwelling Units with the same building elevation shall not be constructed next to, across the street, or catty-corner from another Dwelling Unit with like building elevations. The purpose and administration of the Architectural Standards shall be to follow the anti-monotony policy of the Village.

(c) Construction of Improvements. Construction or other work on new exterior improvements and changes to existing improvements on Lots or Dwelling Units may not be commenced or conducted until such proposed construction, work and changes, as the case may be, are approved by the Covenantor in accordance with this Section. During any construction, the Owner shall require the contractors to maintain the Property under construction in a safe, clean, and sanitary condition and to keep construction trash and debris clear from surrounding property, streets, and other neighborhoods with SPRINGBANK. Any improvements or Dwelling Units that exist as of the date of the adoption of this Amendment shall be "grandfathered in," meaning that the existing Dwelling Units are approved to the extent they deviate from the Architectural Standards, but any modifications shall comply with the Architectural Standards.

(d) Approval. Within thirty (30) days of the submission of the required information to the Covenantor, the Covenantor shall either approve or disapprove the proposed improvements. The approval of the required submittal and the Architectural Standards shall not be construed as representing or implying that such required submittals or Architectural Standards will, if followed, result in the properly designed and constructed improvements. Covenantor shall not be

responsible for any defects in any improvements, any loss or damage to any person arising out such improvements, any damage arising from non compliance of the improvements with any governmental ordinances or regulations and any defects in construction pursuant to required submittals.

3. The Covenantor currently holds 66% of the total votes of the owners of SPRINGBANK, as certified by the Secretary of the Association through his or her signature below.

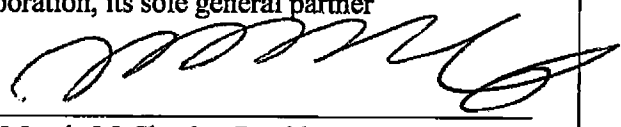
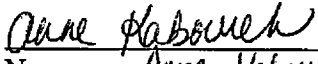
4. This Amendment constitutes a "Covenantor Amendment" as set forth in Article VIII, Section 2 of the Declaration.

5. Unless otherwise provided, all capitalized terms herein will have the same meaning as given in the Declaration.

6. In the event of a conflict of terms between the terms and provisions of this Sixth Amendment and the terms and provisions of the Declaration, the terms and provisions of this Sixth Amendment shall prevail.

7. Except as expressly amended herein, the Declaration shall remain in full force and effect with its terms and conditions.

IN WITNESS WHEREOF, the Covenantor and Association have executed this Amendment to the Declaration this ____ day of May, 2015.

COVENANTOR: OA PLAINFIELD (CHICAGO) ASLI VI, L.L.L.P., a Delaware limited liability limited partnership By: Avanti Properties Group II, L.L.L.P., a Delaware limited liability limited partnership, its sole general partner By: Avanti Management Corporation, a Florida corporation, its sole general partner By:  Marvin M. Shapiro, President	ASSOCIATION: SPRINGBANK HOMEOWNERS ASSOCIATION By:  Name: <u>Anne Habouck</u> Title: <u>President</u>
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STATE OF FLORIDA)
) SS
COUNTY OF ORANGE)

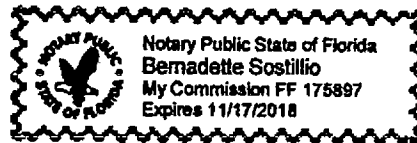
Before me, the undersigned Notary Public in and said county and state, personally appeared Marvin Shapiro who, being duly sworn upon his oath, acknowledged that he is the President of OA Plainfield (Chicago) ASLI VI, L.L.L.P., and that he is authorized and empowered so to do, executed the above and foregoing Amendment to Declaration for the uses and purposes therein set forth.

DATED this 21st day of May, 2015.

My Commission Expires: 11/17/2018
My County of Residence: Orange

Bernadette Sostillio
_____, Notary Public

STATE OF FLORIDA)
) SS
COUNTY OF ORANGE)



Before me, the undersigned Notary Public in and said county and state, personally appeared Anne Kabourek who, being duly sworn upon his oath, acknowledged that he is the Secretary of Springbank Homeowners Association, and that he is authorized and empowered so to do, executed the above and foregoing Amendment to Declaration for the uses and purposes therein set forth.

DATED this 21st day of May, 2015.

My Commission Expires: 11/17/2018
My County of Residence: Orange

Bernadette Sostillio
_____, Notary Public

4812-4409-5012, v. 2

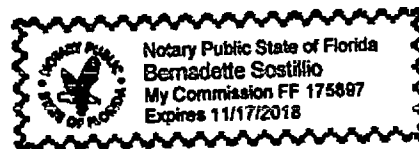


EXHIBIT A**SPRINGBANK OF PLAINFIELD - UNIT 1 DESCRIPTION:**

LOTS 1 THROUGH 215 AND PARCELS(OUTLOTS) 3,4,5 AND 19 IN SPRINGBANK OF PLAINFIELD-UNIT 1, BEING A SUBDIVISION OF PART OF SECTION 20 AND PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 6, 2005 AS DOCUMENT R2005-174863, IN WILL COUNTY, ILLINOIS.

PIN 03-20-100-002; 03-20-300-003; 03-20-300-005; 03-20-300-006;
03-29-100-004& 03-29-100-005

COMMONLY KNOWN AS VACANT LAND SOUTH OF OLD DRAUDEN ROAD AND THE EJ&E RIGHT OF WAY, PLAINFIELD, ILLINOIS.

SPRINGBANK OF PLAINFIELD - UNIT 2 DESCRIPTION:

LOTS 216 THROUGH 349 AND PARCELS(OUTLOTS) 6,7,11,12,13,14,15,16,17 AND 18 IN SPRINGBANK OF PLAINFIELD-UNIT 2, BEING A SUBDIVISION OF PART OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 6, 2005 AS DOCUMENT R2005-174864, IN WILL COUNTY, ILLINOIS.

PIN 03-20-100-002; 03-20-200-022 AND 03-20-200-024

COMMONLY KNOWN AS VACANT LAND SOUTHWEST OF RENWICK ROAD AND THE EJ&E RIGHT OF WAY, PLAINFIELD, ILLINOIS.

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EXHIBIT BParcel 1 (Foster-308.716 ac.):

That part of fractional Section 19, lying North and West of said Indian Boundary Line, described as follows: Beginning 11.06 chains East and 14.29 chains South of the Northwest corner of said Section 19, at a stone as a point of beginning; thence South 25.88 chains to a stone; thence East 18.80 chains to a stone on the Indian Boundary Line; thence Northeasterly on said Indian Boundary Line 35.09 chains to a stone; thence West 42.64 chains to the point of beginning, in Township 36 North, and in Range 9, East of the Third Principal Meridian, in Will County, Illinois.

PIN: 03-19-100-003

The Northwest 1/4 of the Southeast 1/4 of said fractional Section 19, in Township 36 North, and in Range 9, East of the Third Principal Meridian, in Will County, Illinois.

PIN: 03-19-400-001

The Southwest fractional Quarter of said Section 19, lying North and South of said Indian Boundary Line, in Township 36 North, and in Range 9, East of the Third Principal Meridian, in Will County, Illinois.

PIN: 03-19-300-001

The Southwest 1/4 of the Southeast fractional Quarter of Section 19, in Township 36 North, and in Range 9, East of the Third Principal Meridian, all in Will County, Illinois.

PIN: 03-19-400-002

That part of the Southeast 1/4 of the Southeast 1/4 of Section 24, in Township 36 North, and in Range 8 East of the Third Principal Meridian, lying Northerly of the Indian Boundary Line in the Township of Na-Au-Say, Kendall County, Illinois.

PIN: 06-24-400-003

Commonly known as: Vacant land Northwest and Southeast of Old Indian Boundary Road, Plainfield, Illinois

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Parcel 2 (Polley-80.036ac.):

The East Half of the Southeast Quarter of Section 19, Township 36 North, Range 9, East of the Third Principal Meridian, in Will County, Illinois.

PIN: 03-19-400-003

Commonly known as: Vacant land Southeast of Old Indian Boundary Road and Wheeler Road, Plainfield, Illinois

Parcel 3 (Policandriotes-116.027ac.):

The East 1/2 of the Northwest Quarter of Section 20, Township 36 North, Range 9, East of the Third Principal Meridian, in Will County, Illinois, excepting therefrom that part thereof lying within the right-of-way of the Elgin, Joliet and Eastern Railroad.

PIN: 03-20-100-002

That part of the East 1/2 of the Northeast Quarter of Section 20, Township 36 North, Range 9, East of the Third Principal Meridian, lying West of the East bank of the DuPage River and lying South of the North 984.72 feet of said East 1/2, in Will County, Illinois.

PIN: 03-20-200-023 (part)

That part of the West 1/2 of the Northeast Quarter of Section 20, Township 36 North, Range 9, East of the Third Principal Meridian, lying Southeasterly of the Easterly right-of-way line of the Elgin, Joliet and Eastern Railroad and lying West of the East bank of the DuPage River, in Will County, Illinois.

PIN: 03-20-200-023 (part)

Commonly known as: Vacant land Southwest and Southeast of Renwick Road and Drauden Road, Plainfield, Illinois

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Parcel 4 (Policandriotes-23.032ac.):

That part of the Northeast Quarter of Section 20, Township 36 North, Range 9, East of the Third Principal Meridian, Will County, Illinois, lying Northwesterly of the Westerly right-of-way line of the Elgin, Joliet and Eastern Railroad and Southwesterly of the center of the existing road; excepting therefrom that part described as beginning at the Northwest corner of the said Northeast 3; thence South 89 degrees 40 minutes 04 seconds East along the North line of the said Northeast 3, 947.94 feet; thence South 46 degrees 12 minutes 27 seconds East 37.99 feet to the point of beginning, said point being in the center of an existing road; thence South 46 degrees 12 minutes 27 seconds East along the said center of the said road, 417.85 feet to the Westerly right-of-way line of the Elgin, Joliet and Eastern Railroad; thence South 45 degrees 28 minutes 43 seconds West along the said Westerly right-of-way line, 478.07 feet; thence North 56 degrees 16 minutes 53 seconds West 18.79 feet; thence North 27 degrees 12 minutes 57 seconds East 53.77 feet; thence North 10 degrees 10 minutes 56 seconds East 46.60 feet; thence North 00 degrees 19 minutes 20 seconds East 207.97 feet; thence North 12 degrees 18 minutes 43 seconds East 199.38 feet; thence North 8 degrees 01 minutes 46 seconds West 44.23 feet; thence North 38 degrees 43 minutes 43 seconds West 43.80 feet; thence North 16 degrees 47 minutes 33 seconds East 41.30 feet to the point of beginning; ALSO excepting therefrom that part described as beginning at the intersection of the West line of the said Northeast 3 with the Westerly right-of-way line of the Elgin, Joliet and Eastern Railroad; thence North along the said West line of the Northeast 3, 400.00 feet; thence South 67 degrees 15 minutes 39 seconds East 309.23 feet to the said Westerly right-of-way line of the Railroad; thence South 45 degrees 28 minutes 43 seconds West along the said Westerly right-of-way line of the Railroad, 400.00 feet to the point of beginning.

PIN: 03-20-200-024

Commonly known as: Vacant land Southeast of Renwick Road and Drauden Road, Plainfield, Illinois

Parcel 5 (Chapman-15.00ac.):

That part of the Northwest 1/4 of Section 29 and the Southwest 1/4 of Section 20, all in Township 36 North, Range 9, East of the Third Principal Meridian, described as follows: Beginning at the Southeast corner of the said Southwest 1/4 of Section 20; thence North along the East line of the said Southwest 1/4, 497.36 feet; thence West along a line forming a right angle with the last

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described line, 765.06 feet; thence South along a line forming a right angle with the last described line, 854.00 feet; thence East along a line forming a right angle with the last described line, 765.31 feet to the East line of the said Northwest 1/4 of Section 29; thence Northerly along the said line of the Northwest 1/4 of Section 29, 356.64 feet to the point of beginning, in Plainfield Township, Will County, Illinois.

PIN: 03-20-300-005
 03-20-300-006
 03-29-100-005

Commonly known as: Vacant land commonly known as 16700 South Drauden Road, Plainfield, Illinois

Parcel 6 (Mueller-234.777ac.):

The North 5/8 of the Northwest 1/4 of Section 29 and the Southwest 1/4 of Section 20, all in Township 36 North, Range 9, East of the Third Principal Meridian, Plainfield Township, Will County, Illinois, excepting therefrom the right-of-way of the Gardner, Coal City and Northern Railway Company, now Elgin, Joliet and Eastern Railway Company; also excepting therefrom that part described as follows: Beginning at the Southeast corner of the said Southwest 1/4 of Section 20, thence North along the East line of the said Southwest 1/4, 497.36 feet, thence West along a line forming a right angle with the last described line, 765.06 feet, thence South along a line forming a right angle with the last described line, 854.00 feet, thence East along a line forming a right angle with the last described line, 765.31 feet to the East line of the said Northwest 1/4 of Section 29, thence Northerly along the said East line of the Northwest 1/4 of Section 29, 356.64 feet to the point of beginning.

PIN: 03-20-300-003; 03-29-100-004

Commonly known as: Vacant land West of Drauden Road, Plainfield, Illinois

Parcel 7 (Marilyn Gehrke-116.627ac.):

The South three-eighths of the Northwest 1/4 of Section 29 and also the North three-eighths of the Southwest 1/4 of said Section 29, excepting therefrom those parts thereof conveyed to the Gardner, Coal City and Northern Railway Company, (Now Elgin, Joliet and Eastern Railroad) and also excepting therefrom that part of the

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land, if any, lying south of the north line of Brookside Subdivision Phase 1 recorded as Document No.R95-75244, all located in Township 36 North, Range 9 EP, in Will County, Illinois

PIN NO: 03-29-100-002; 03-29-300-001

Commonly known as: Vacant land West of Drauden Road, Plainfield, Illinois

Parcel 8 (Gehrke Farms L.P.-49.638ac.):

That part of the Southeast Quarter of Section 20, Township 36 North, Range 9 East of the Third Principal Meridian, lying West of the Westerly Line of the Resubdivision of Lots 11 and 12 in Pine Cone Woods, being a Subdivision of part of the Southeast $\frac{1}{4}$ of Section 20, Township 36 North, Range 9 East of the Third Principal Meridian, according to the Plat thereof recorded July 30, 2001 as Document Number R2001-98310, said Westerly Line also being coincident with the Center Line of the DuPage River, and lying South of the following described Line; Commencing at the Southwest Corner of the Southeast $\frac{1}{4}$ of said Section 20; thence North 01 degrees 55 minutes 08 seconds West, along the West Line of said Southeast $\frac{1}{4}$, 1425.67 feet to the South Line of the North 1185.50 feet of said Southeast $\frac{1}{4}$ (as monumented and occupied), for a Point of Beginning; thence North 88 degrees 40 minutes 53 seconds East, 996.42 feet, along said South Line of the North 1185.50 feet of said Southeast $\frac{1}{4}$ (as monumented and occupied), to the Westerly Line of said Resubdivision of Lots 11 and 12 in Pine Cone Woods, for the terminus of said line (excepting therefrom the West 238.00 feet of the North 148.00 feet), in Will County, Illinois.

PIN: 03-20-400-014(part)

Commonly known as: Vacant land East of Drauden Road, Plainfield, Illinois

Parcel 9 (Olsen-1.31ac.):

That part of the Northeast Quarter of Section 20, Township 36 North, Range 9, East of the Third Principal Meridian, Plainfield Township, described as follows: Beginning at the intersection of the West Line of the said Northeast Quarter with the Westerly right-of-way of the Elgin, Joliet and Eastern Railroad, thence North along the said West Line of the Northeast Quarter, 400.00 feet; thence South 67 degrees 15 minutes 39 seconds East 309.23 feet to the said Westerly right-of-way line of the railroad; thence

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South 45 degrees 28 minutes 43 seconds West along the said Westerly right-of-way line of the railroad, 400.00 feet to the Point of Beginning in Will County, Illinois.

PIN: 03-20-200-022

Commonly known as: 15929 Drauden Road, Plainfield, Illinois 60544

(EXCEPTING FROM THE ABOVE PARCELS 1, 2, 3, 4, 5, 6, 7, 8 and 9, THAT PART THEREOF FALLING WITHIN SPRINGBANK OF PLAINFIELD UNITS 1 and 2, DESCRIBED AS FOLLOWS:

LOTS 1 THROUGH 215 AND PARCELS(OUTLOTS) 3,4,5 AND 19 IN SPRINGBANK OF PLAINFIELD-UNIT 1, BEING A SUBDIVISION OF PART OF SECTION 20 AND PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 6, 2005 AS DOCUMENT R2005174863, IN WILL COUNTY, ILLINOIS.

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03-29-100-004& 03-29-100-005

COMMONLY KNOWN AS VACANT LAND SOUTH OF OLD DRAUDEN ROAD AND THE EJ&E RIGHT OF WAY

LOTS 216 THROUGH 349 AND PARCELS(OUTLOTS) 6,7,11,12,13,14,15,16,17 AND 18 IN SPRINGBANK OF PLAINFIELD-UNIT 2, BEING A SUBDIVISION OF PART OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 6, 2005 AS DOCUMENT R2005174864, IN WILL COUNTY, ILLINOIS.

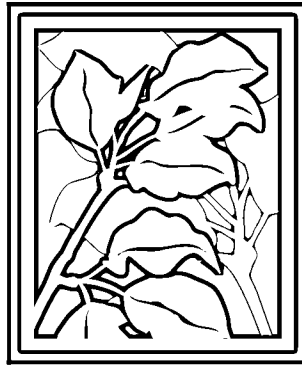
PIN 03-20-100-002; 03-20-200-022 AND 03-20-200-024

COMMONLY KNOWN AS VACANT LAND SOUTHWEST OF RENWICK ROAD AND THE EJ&E RIGHT OF WAY, PLAINFIELD, ILLINOIS.

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EXHIBIT E



SPRINGBANK OF PLAINFIELD

Architectural Design Guidelines



Presented by:

OA Plainfield (Chicago) ASLI VI, L.L.L.P.

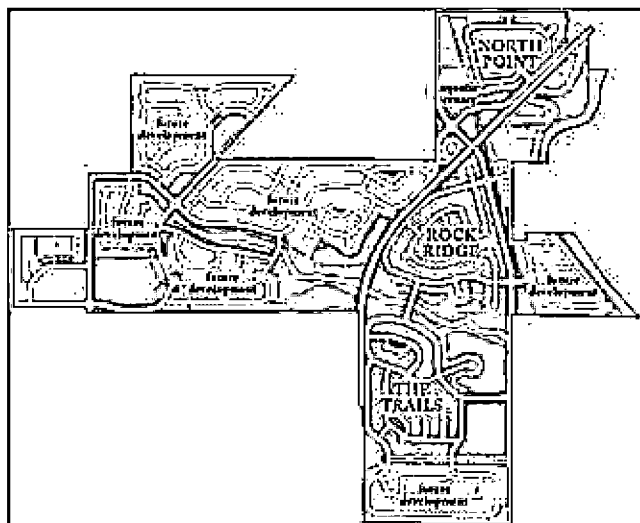
May 14, 2015

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Introduction

The purpose of these Architectural Design Guidelines is to define the criteria that will guide development in the Springbank Community. Like any community, Springbank will grow gradually over a period of years. Its ultimate form will reflect the numerous design decisions of builders and their design teams. These standards are intended to provide the foundation upon which Springbank will be developed.



The Architectural Design Guidelines have been prepared to assist builders, planners, architects, engineers and landscape architects to become active participants in the design process, and to assure long term community quality. They are not intended to limit development choices or design alternatives, but rather to encourage creativity, innovation, and architectural diversity, while creating a blend of home styles which will enhance the community environment. Of significant importance will be the final appearance of all the homes in the community. Particular attention will be focused on traditional architectural styles that encompass proper scale, massing, materials and color schemes. The ultimate result will be to heighten property values while creating a cohesive residential character and appeal.

Springbank will be comprised of traditional residential architecture situated on approximately 1000 acres and intertwined with dedicated open space.

Springbank Unit 1

- Lots 1 through 215
 - One-story Dwelling Units 1,700 SF
 - Multi-story Dwelling Units 2,800 SF

Springbank Unit 2

- Lots 216 through 349
 - One-story Dwelling Units 1,600 SF
 - Multi-story Dwelling Units 2,300 SF

Springbank Unit 3

- Lots 350 through 596
 - One-story Dwelling Units 1,700 SF
 - Multi-story Dwelling Units 2,300 SF

As determined by the developer, the square footage ranges noted above may change as market conditions evolve. All building and development at Springbank should conform with these Architectural Design Guidelines and the Village of Plainfield's building codes, zoning ordinances and amendments therein. Builders are required to submit plans to the developer for review and approval; the Builder shall, following the developer approval, make submittal to the Village of Plainfield. Refer to approval process described on page 47.

The Review Process

The standards also outline an efficient and equitable review process that will be administered by the by the Declarant of Springbank of Plainfield and BSB Design. The review process has been established pursuant to, and in accordance with, the Master Declaration, for the purpose of implementing the Design Standards.

At the time of discussion regarding a parcel and sale a representative of the declarant will be available to help you interpret the standards and offer suggestions about your housing concepts. You are urged to meet with a representative as early as possible to assist in your decision to build at Springbank of Plainfield.

All proposed building and development within the overall community of Springbank of Plainfield must be reviewed and approved by the declarant and BSB Design prior to seeking Village of Plainfield Building Department approval.

BSB Design will review each builder's development package for conformance to the Design Standards, and will review individual home owner's submittals using the same standards.

All reviews, substitutions and approvals by BSB Design will be considered binding and final.

The declarant and BSB Design will have authority over both new construction and exterior remodels, additions and other improvements.

The Design Standards shall be used as a tool by each submitting builder or homeowner for making decisions on their neighborhood, product and planning design schemes. To obtain specific information on the timing and procedures for design review submittal, contact BSB Design

Review & Approval Flow Chart

The following outlines the Builder's "critical path" for building design, code compliance and approvals for construction in Springbank.

Step One

RESEARCH AND REVIEW

- Springbank Design Standards
- Village of Plainfield Building and Zoning Requirements
- Village of Plainfield Residential Design and Planning Guidelines
- Springbank Annexation Agreement
- Declaration of Covenants, Restrictions, Easements, Charges, and Liens for Springbank

Step Two

DESIGN REVIEW REQUIREMENTS

- Completion and submittal of Preliminary Design & Planning Review Application
- Meeting between declarant and or BSB Design and Builder (if necessary)
- Preliminary approvals to proceed or recommendation for change
- Resubmittal for review of compliance
- Final sign-off and approvals by the declarant or BSB Design

Step Three (when applicable)

EXTERIOR REMODELING AND ADDITIONS

- Completion of relevant portions of Preliminary Design and Planning Review Application
- Meeting between the declarant and Builder or Owner.
- Submittals of two (2) Design packages with appropriate exhibits and completion of relevant portions of Final Design and Planning Review Application.
- Final review, sign-off and approvals by the declarant or BSB Design proceed or recommendations for change.

Community Character

The master plan for the community of Springbank envisions a thoughtful blend of multiple self-contained Villages reminiscent of small historic towns. Through careful planning, each of the Neighborhoods will offer “Lifestyle Living” opportunities by way of different types of single family homes. The community features an aquatic center that specifically serves the needs of the Springbank residents.

Of particular importance throughout Springbank will be a strict adherence to the architectural vision and goals of this guideline of architectural controls. The purpose of these architectural controls is to help define and convey minimum performance standards with respect to building design, garage placement, appropriate building materials and colors.

In addition to other applicable Plainfield requirements, these Design Guidelines will also serve as a guide for the appearance and design standards for Key Lots, or homes that will be uniquely positioned for high visibility. Special consideration will be made for rear elevations and corner lots located on prime intersections throughout the community.



General Site Development Guidelines

A General Development Plan has been approved by the Village. When a Builder seeks to specifically develop a particular neighborhood plan, the following general framework of site design and improvement guidelines has been developed to ensure the successful integration of each neighborhood into the overall community.

1. Common community design elements will be repeated to integrate each neighborhood into the overall community.
2. The siting of the buildings and improvements should focus on maintaining "quality views".
3. Vacant home sites shall be kept free of all rubble and debris and mowed at a height not to exceed 12".
4. Trees that are to be preserved are to be protected to the limit of their roots from construction equipment by fencing off with temporary snow fence for protection. Fenced in areas shall not be used for any type of material storage or use other than as a root protection zone.
5. Building setbacks are established in the Annexation Agreement (and presented herein), and shall be the minimum allowed.
6. All improvements shall conform to the overall approved Final engineering plan.
7. Effective erosion control measures shall exist throughout the construction phase of each neighborhood. These measures may include temporary swales, berms, siltation fences, straw bales, and temporary sedimentation ponds. All erosion control devices and protective fencing shall be maintained at all times.
8. All grading shall comply with overall storm water management and wetland mitigation plans.
9. Site and drainage plans must be designed to prevent run-off, protect wetlands and insure proper retention/detention.
10. The visual impact of parked automobiles shall be minimized where applicable through careful siting and screening of roads and parking areas.
11. Any proposed changes to site and/or engineering plans must be reviewed and approved by the Developer, the declarant, and the Village.

The above standards supplement all other requirements contained in the Springbank Annexation Agreement.

Community Infrastructure

The preliminary Site and Engineering plans as prepared by the Developer have been approved by the City. These plans indicates what utilities and infrastructure improvements will be provided to each neighborhood.

Erosion control with the Springbank limits will be an important component of environmental responsibility. Wooded areas and lakes are all significant natural features which enhance the value of the entire community. These features are vulnerable to erosion damage stemming from construction activities. Builders will be expected to install and maintain erosion control and siltation management devices as required by local, state and federal jurisdictions and approved by the Developer.

Architectural Character & Style

While dwellings in Springbank are not restricted to a particular style, it is encouraged that a traditional character be established which is consistent with traditional Americana.

It is the goal of the Master Developer to encourage a good variety of Architectural Styles, de-emphasize the garage in creative ways and add value to the community through good planning. Alternate elevations shall be distinctive enough to avoid monotony.

All proposed designs shall be subject to approval by the declarant and BSB Design, and all neighborhoods must comply with the Village of Plainfield Residential Design and Planning Guidelines.

Appropriate

- Interpretations of historical styles.
- Traditional Character and Design
- Mixed use and variety of traditional architectural styles, details and materials.



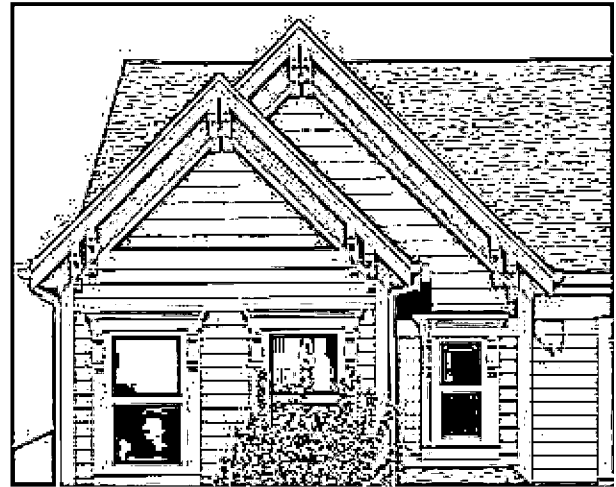
Examples of appropriate architectural character.

Exterior Materials & Finishes

Materials and trim selections must take into account the nature of the individual home styles and be reflective of their traditional appearance and prominence in the neighborhoods. Alternate elevations should incorporate the use of natural materials such as wood siding, brick and stone. Synthetic stucco and cementitious products such as Hardie Board siding shall be an acceptable material. Horizontal band boards, corner boards, window and door trims, shutters, frieze boards and mouldings are encouraged. Entries shall be oriented to the street, and shall receive additional emphasis and detail. Flush rakes and long expanses of flat wall planes are discouraged to help eliminate a boxy appearance. Traditional eaves and other appropriate period details shall be used for neighborhood consistency. Gutters, downspouts and splash blocks are required and should be considered with each elevation design.

Minimum Requirements:

- Cedar, Brick, Stone, Hardie or other approved alternates on front elevation.
- Premium vinyl siding shall also be allowed (0.040 ga. minimum) on side and rear elevation.
- Heavyweight fiberglass or articulated composite shingles are acceptable.
- Masonry fireplaces and/or masonry-clad chimneys on exterior walls. Interior chimney chases shall be consistent with the primary cladding of the house.



Example of excellent wood trim details.



Example of Boards and "returned" eaves capping a masonry wrap.



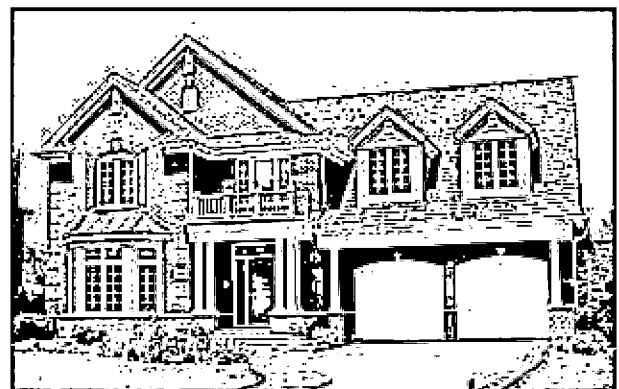
Examples of good color selections and appropriate material terminations.

Elevation Variety

To create diversity and individuality throughout Plainfield, and to comply with the anti-monotony standards in the Annexation Agreement, it is critical that a variety of styles and color packages be provided for homes in proximity. It is encouraged that side loaded garages be incorporated where practical and possible, along with front loaded garages to provide additional diversity and to reduce the impact of numerous garage doors on the streetscape. Alternate garage solutions such as two-car and one-car split conditions will also be favorably considered. A blend of single and double garage doors is also encouraged.

Minimum Requirements:

- A minimum of 3 elevation themes for each plan type.
- A minimum of 4 color packages that are representative of Historical Williamsburg colors.
- Creative mixing and interaction of plan types, color packages, or elevation themes within the neighborhoods.



Examples of appropriate architectural character

Scale & Massing

Design consideration must be given to the relationship of architectural massing and scale of building elements in the Springbank neighborhood. The incorporation of lowered fascia heights, second story dormers, porch entries, usable front covered porches, first floor bays and reduced front wall heights are encouraged for reducing the frontal mass of dwellings. A strong expression of entry is also encouraged. When terrain allows a walkout condition, exterior wall finishes of wood, vinyl or aluminum should “step” down with grade, with each “step” beginning 8 inches above finished grade. Expanses of exposed concrete shall be avoided.

Well detailed and dominate porches are mandatory when presented as significant elevation elements.

Design Considerations:

- Mass of dwellings scaled down whenever possible.
- Architectural elements, such as dormers, bay projections.
- Dominant entry elements.
- Exterior wall finishes that follow slopes in grade, to the extent possible.
- De-emphasizing of 2 or 3 car garage elements, by setting back the garage plane, or softening the heavy mass with appropriate architectural consideration.



First Floor Bay



Porch Entry & Second Floor Bay Projection



De-emphasized Garage Door



Strong Entry Expression

Roof Accessories, Gutters & Downspouts

It is encouraged that all exposed metal materials are hidden or muted from the public eye whenever possible.

Minimum Requirements:

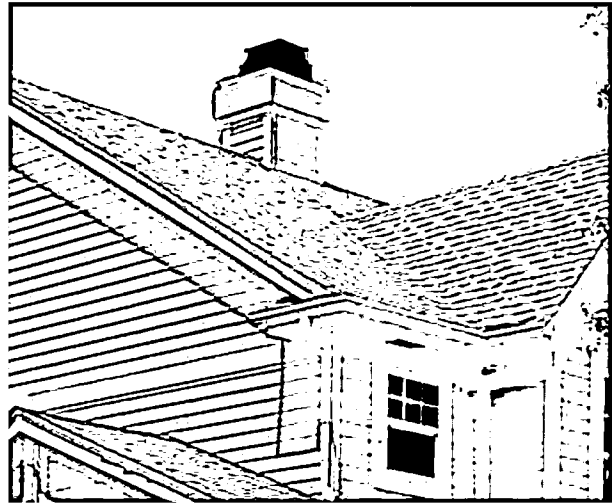
- All roof vents, plumbing stacks and flashing should closely match the color of surrounding materials.
- Exposed flues and roof vents are encouraged to be located on the back slope of roofs.

Chimneys

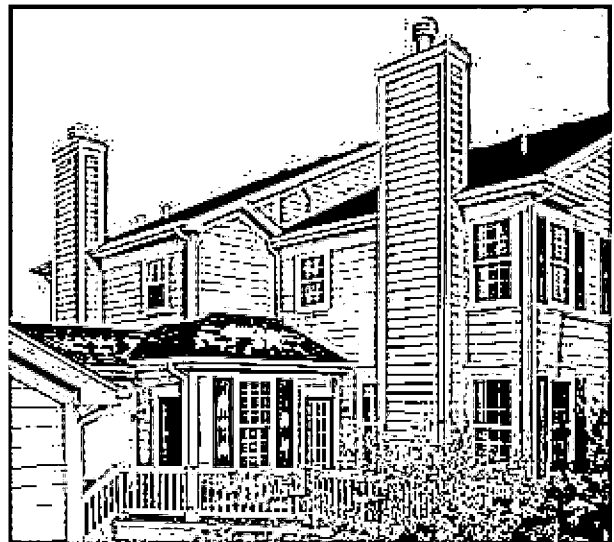
Chimneys should be simple in design, accenting the architectural style of the building to ensure consistency and style. Material and texture can either blend in or serve as an accent for the elevation. Chimney chases should mirror the fascia or trim treatment. Masonry fireplaces that project from the building are encouraged on upscale, large lot programs, as well as when chimneys exist on rear elevations along significant community roadways (see page 21).

Minimum Requirements:

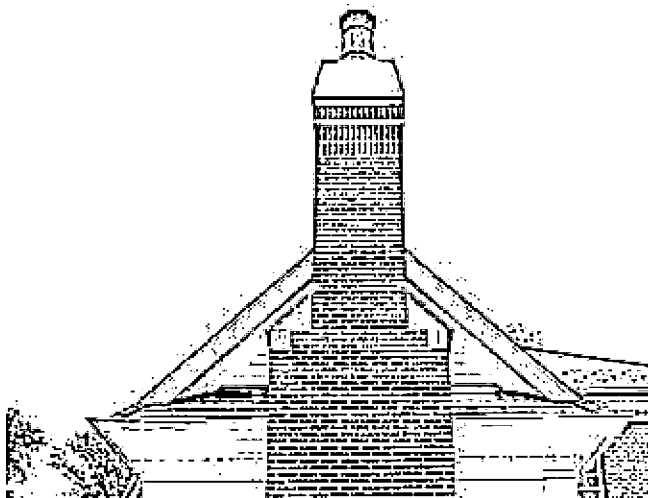
- Chimneys as design elements that add texture and depth to elevation.
- Termination of chimney caps painted to match surrounding field or painted dark to match roof.
- Masonry-clad chimneys are required in the Estate home neighborhood, when located on exterior walls.



Properly wrapped Roof Projections



Frame-wrapped Wood Chimneys



Masonry Chimneys

Rear and Side Elevation Controls

In the interest of maintaining an attractive streetscape, corner lots and lots with rears adjacent to the street shall incorporate features that create unique elevations.

While the builder may incorporate other elements consistent with the architectural style that make elevations unique, the following techniques are encouraged; the builder shall incorporate a minimum of two (2) elevation elements as appropriate within the specified rear and side elevation.

- Vertical plane break
- Horizontal plane break or banding
- Roof break element (i.e. overlay gable)
- Projected box bay window or similar
- Window divided light / grid
- Window casing / trim
- Brick or stone accents consistent with the front elevation

All homes shall maintain color and materials that are consistent with the architectural style and character of the home. As well, Builders are encouraged to place vent piping and other roof penetrations on portions of the roof that are less visible from the street.

On those lots identified as Corner Lots, in addition to the architectural features required to create a unique elevation shall require additional streetscape landscaping.



Front Entry, Service, Patio, & Garage Doors

Door styles and colors should be used in such a way to emphasize the front entry and de-emphasize the garage and service doors. Wood, insulated metal and quality hardboard materials are acceptable. Monotony should be considered, and use of a variety of door styles are encouraged. Doors should be energy conscious where appropriate.

Appropriate

- Embossed or plant-on detail at front entry doors.
- All entry doors shall have a minimum of (1) sidelight.
- Accent color at front entry doors is encouraged.
- Panelled wood or insulated steel garage doors.
- Muted color scheme on service and garage doors.
- Mixed use of single and double garage doors.
- Trim details around doors.



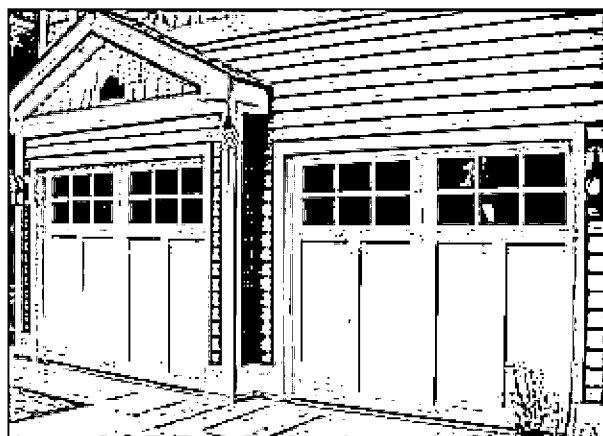
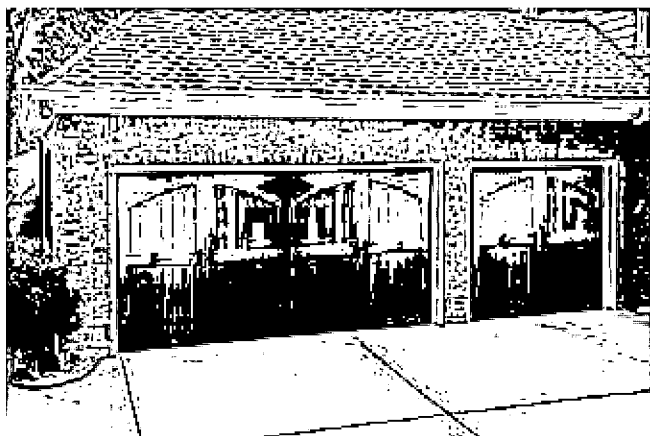
Small Raised Panel Entry Door



Garage Doors



Feature Entry Door with Sidelights & Transoms





Decks, Porches, & Balconies

Entry porches should be designed as dominant features that invite entrance to the home. The use of arches, pediments, columns and railings are excellent examples of traditional design elements and are encouraged. Decks attached to houses should be large enough to be usable, and built with appropriate wood material which can be exposed to the weather. Enclosed screen porches are acceptable if designed as part of the exterior and are built from materials consistent with the rest of the building.

Appropriate

- Wood decks, painted or stained to be compatible with the house finishes, oriented to the rear.
- Deck handrail systems simple in design, using vertical balusters.
- Screen porches that fit the architectural style (encouraged to be on rear elevation)
- Dominant entry porches (encouraged)
- Massive scale for columns supporting porches, including built-up box or tapered forms.



Balconies



Decks



Porches

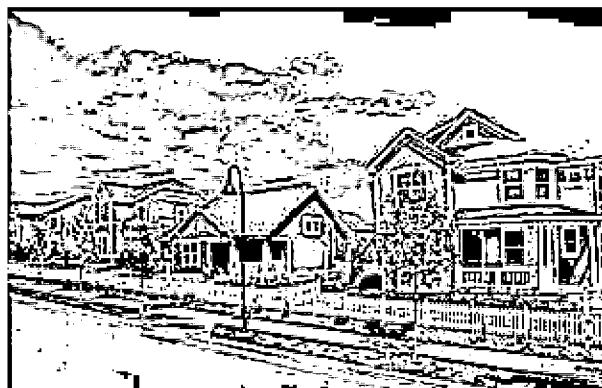
Exterior Colors

Color packages shall be developed with the consideration for variety and compatibility within each neighborhood as well as throughout the entire community.

Proposed color selections and the intermixing of color packages shall be subject to approval by the declarant and Village and must meet any monotony requirements.

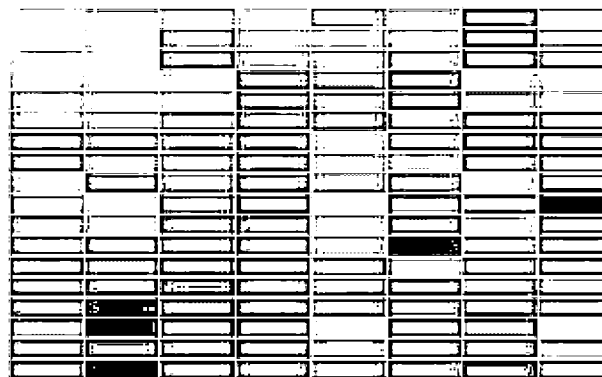
Required:

- Color schemes selected from Benjamin Moore Williamsburg Collection or equivalent.
- Complementary brick, stone, trim, siding and accent siding colors with variations in contrast.



Accessory Buildings

No accessory buildings or structures shall be constructed, installed or maintained on any Lot in Springbank, except that gazebos and pool houses shall be permitted anywhere on the Lot in accordance with the ordinances of the appropriate governmental authority. The architectural plans and location for any gazebo or pool house must be approved by the declarant and Village prior to the commencement of construction thereof.



Williamsburg Color Collection

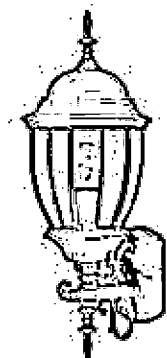
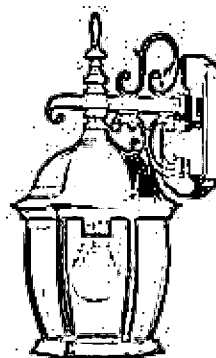
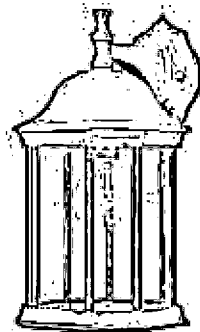
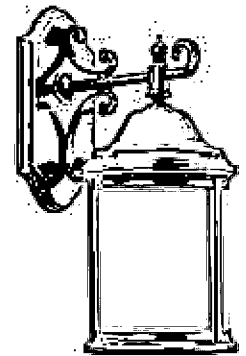
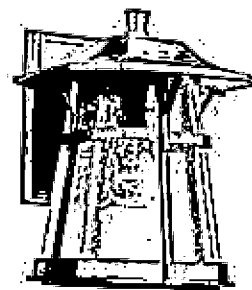
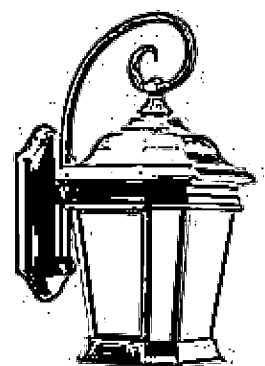
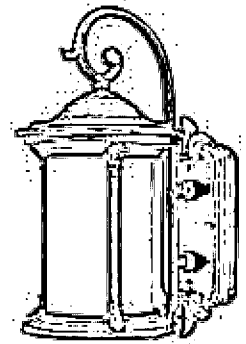


Building & Yard Lighting

Lighting of homes and their surroundings can add dynamic effects within a community. Effective exterior lighting within Springbank is encouraged. Light fixtures should be consistent with the theme of the community and building design. All lighting should be “down” or “area” lighting. All light sources should be white (no colored lights) and no spill over of lights should occur on neighboring properties. Lighting should be shielded to conceal glare. Tree up-lighting should be concealed in shrubs.

Appropriate

- Wall mounted fixtures at entries that blend with theme of community and building design.
- Fixtures and standards shall be designed to aesthetically relate to the character of the development.
- Wall mounted and yard light fixtures are encouraged to be complementary or matching.



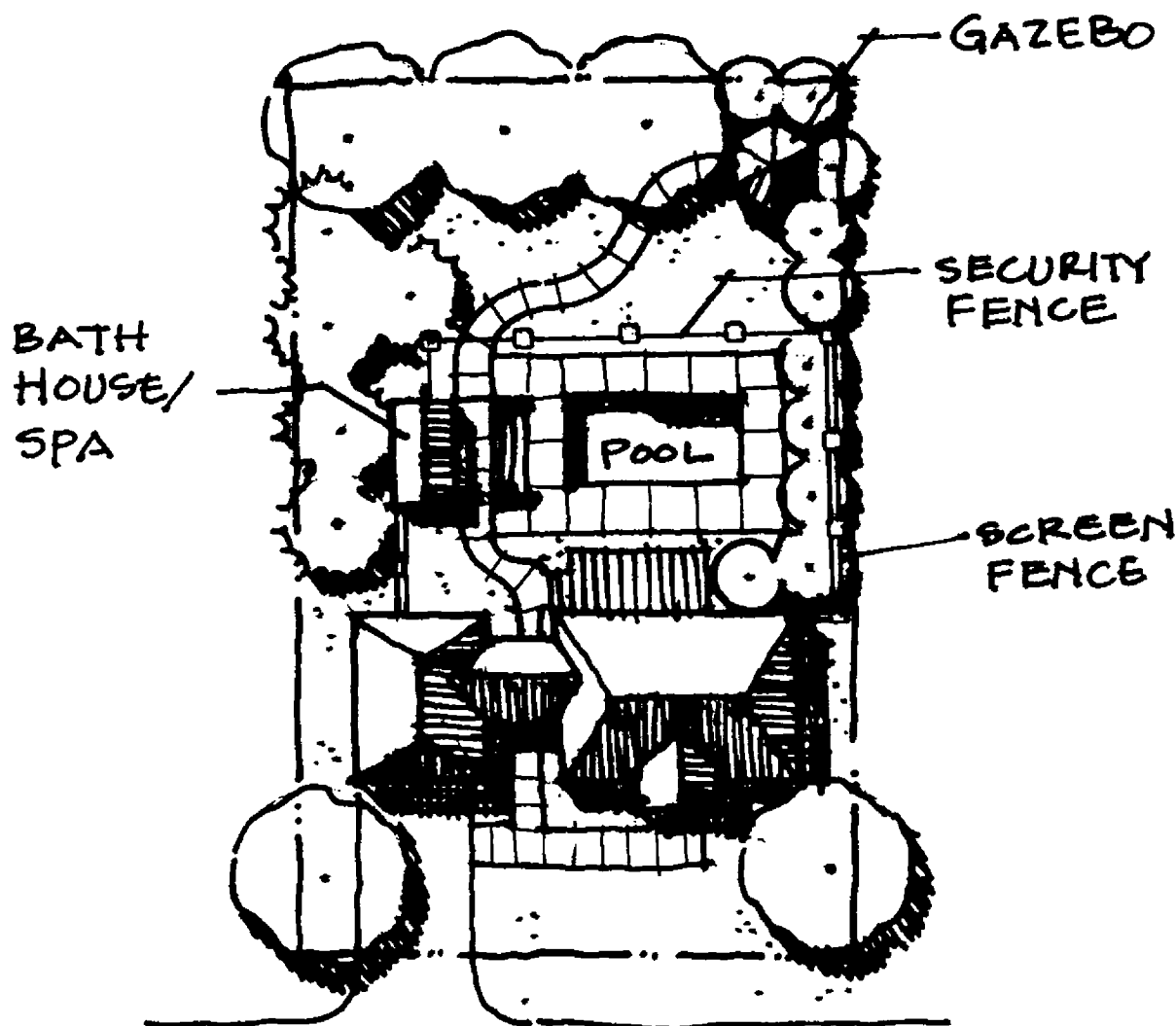
Surface Mount Lanterns

Pools/Spas/Water Features

All water features are required to be located in rear yards and are encouraged to be completely enclosed by approved fencing or landscaping and screened from neighboring homes. All water features shall be in-ground except spas, which may be built into appropriately designed and screened deck systems. Equipment for pools, spas, or fountains should be completely screened from adjoining properties. Safety fencing must be provided in accordance with municipal fencing guidelines.

Appropriate

- Pools with approved fencing and screening.
- Spas with approved fencing and screening.
- Ponds constructed with water tight liners, recirculation equipment and overflow provisions.
- Water features to be located in rear yards only unless provided by developer as a community feature.



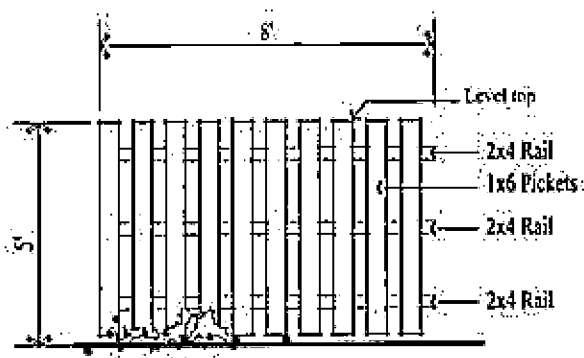
Typical Pool/Spa/Screening Arrangement

Community Fence Program

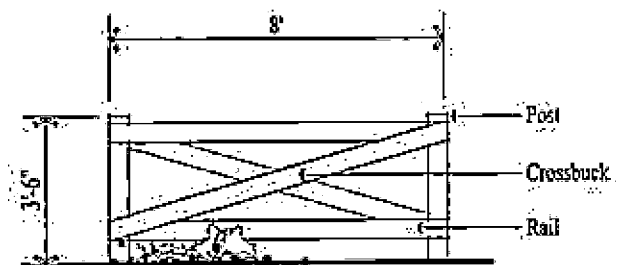
In order to provide a cohesive, well planned fencing program throughout the entire community, lot line fences for rear and side yards have been predetermined. If fencing is desired where the rear yard or side yard abuts a roadway, open space or common area including landscape buffer or detention area, the standard fence design shown below will be required. All other rear and side yard lot line fences must be of types illustrated below. Structural framing shall be on the lot side of the fence whose owner wishes to erect the fence, or by agreement with adjacent property owner, or on the lot side of the fence where adjacent a roadway. Rear yard and side yard fences must be located on the lot line. This does not preclude internal fences used to screen patios, pools and other private features whose designs are appropriate to the house architecture and are approved by the declarant and BSB Design

Fencing between houses as viewed from the front of the house must be installed with the following criteria:

- Fences will be installed starting at least 15' back from the front corner of any house, but may be installed further than 15' if so governed by the next adjacent house.
- Wooden fences shall not exceed 5' (60") in height, or as outlined in the Plainfield zoning code.
- Fencing on corner lots is allowed as outlined in the Village of Plainfield fencing ordinance.
- Chain link fences of any type are not permitted.



Board and Board Fence - Standard



Cross-Buck Fence

General Landscape Guidelines

All builders in the community are required to install a landscape package for each single family home or multi-family community summarized on the following pages.

This landscape section has been designed to provide Property Owners, Architects, Contractors and Builders with important information related to the development of homes to insure a harmonious neighborhood streetscape and to protect the aesthetic quality of the overall community.

The objective is to reinforce the natural character of the community. The recommended landscape character should emphasize an informal scene by encouraging use of native plant materials and natural areas. Front yard plantings should be sympathetic to the overall neighborhood streetscape in form, texture and simplicity of design. This can be achieved, in the single family areas, by limiting the front yard planting to lawn, trees and informal plantings.

Plantings should be designed to provide privacy for the homeowner and the neighbors. Plantings along common property lines should be informal unsheared plantings.

Appropriate Front & Side Yard Design

- Informal
- Shredded bark mulch
- Flowing layered beds



Landscape Character

Single Family Landscape Planting Requirements

To create a “streetscape effect” that is consistent throughout each neighborhood and the entire development, following are the minimum planting requirements. The following minimum standards for single family neighborhoods are in addition to any landscaping of public areas provided by the Developer. All original landscape plans must be approved by the declarant.

In all neighborhoods, all front and side yards must be sodded; rear yards may be seeded:

- A minimum of 4 inches of topsoil must be used.
- As a minimum standard, IDOT class 1 Lawn Mixture seed must be used.
- Silt fences and other erosion control devices must remain in place until the lawn is fully established.

Builders shall be required to provide a landscape package for the front yard of all homes which shall consist, at a minimum, of the following:

- (8) deciduous or evergreen shrubs with a minimum height of 18 inches.
- (2) ornamental or upright evergreen tree with a minimum height of 6 feet.

Plans with different combinations of plants may be submitted to the declarant and Village for approval.

One four inch caliper shade tree shall be provided in every other rear yard where lots back up to other neighborhood lots. Rear yard trees shall not be required on lots which abut open space, or in wooded areas. Builders shall be required to install in neighborhood parkways (defined as the area in front of houses, between the sidewalk and curb) two trees for each house, with three trees for corner lots. The trees shall be a minimum caliper of three inches, shall be spaced and planted under an overall plan approved by the declarant and Village and shall be of a species approved by the declarant and Village.

Landscape Maintenance

All vacant property shall be kept clear of debris and trash build-up. All vacant homesites should be mowed to a height of no more than 12 inches and be cleared of all dead plant materials, fallen branches and unsightly vegetation.

Builders shall maintain all original installed landscape areas until single family homes are sold, and until multi-family long-term maintenance management contracts are in place. At a minimum, this shall include:

- Checking and adjusting tree stakes and guy wires to avoid trunk girdling, abrasions, and unsightly conditions.
- Mowing turf areas regularly such that turf height does not exceed three inches.
- Watering trees, shrubs, and lawn areas sufficiently to avoid drying and discoloration caused by water stress.
- Promptly removing and replacing dead plant material, including sod.
- Removing weeds from turf areas and plant beds weekly.
- Maintaining depth of mulch in plant beds such that no bare soil or landscape separator fabric is visible.
- Removing air borne trash daily.

General Rules For Builders, Subcontractors & Warranty Personnel

1. Builders and subcontractors are required to keep job sites, including streets, as neat and clean as possible. Frequent removal of trash and debris is required. Job site dumpsters are to be removed when full. Stockpiling or dumping on surrounding sites is prohibited.
2. Speed limits throughout the entire construction area are not to exceed 20 miles per hour.
3. Specific areas of the site contain natural marshes and wetlands. These areas are to be protected during construction from vehicles, trash and storage.
4. Trees are to be protected at extent of root zone from construction equipment - fence off with temporary snow fence for protection. The area within the fence shall not be used for materials storage, cleaning of equipment or vehicles, parking, or any other construction-related activity. The builder or general contractor will be held responsible for tree protection.
5. Construction entrances and haul roads will be provided. All construction related traffic must use the designated routes.



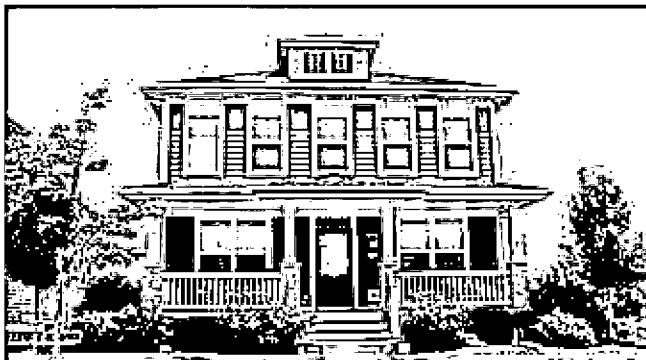
American Foursquare

General Elevation Requirements:

- 4-8:12 front to back roof slope
- 4-8:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Masonry and non-masonry elevations allowed
- Cedar and Cementitious (Hardie) siding allowed

Style Specific Elements & Features:

- Simple box shape
- Hipped roofs typically with 16" overhangs
- Large centered dormers are prevalent
- Predominantly a frame / sided elevation with front porches
- Full width porches with railings
- Carpenter built porch columns
- Porch Columns on masonry pedestals
- Window patterns aligned both horizontally and vertically



Charleston

General Elevation Requirements:

- 4-8:12 front to back roof slope
- 6-10:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- 2 story covered front and / or side porches
- Dominant, centered, classical pediment
- Windows symmetrically arranged, aligned in rows and columns
- Full width porches with railings
- Carpenter built porch columns
- Classically ordered columns and details
- Window patterns aligned both horizontally and vertically





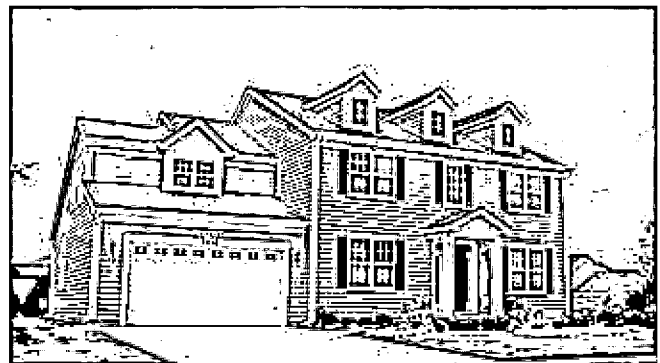
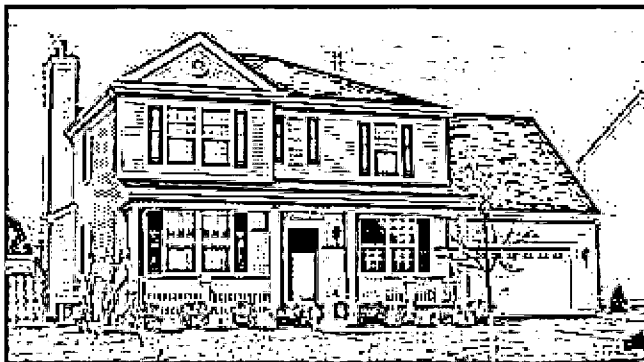
Classical / Colonial

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 6-9:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Simple front massing with complimentary roof design and profiles
- Formal balanced window arrangement
- Paneled or louvered shutters
- Classically ordered columns and details
- Traditional paneled entry doors
- Modest sized covered entries and porticos
- Rectangular plan with central entry hall



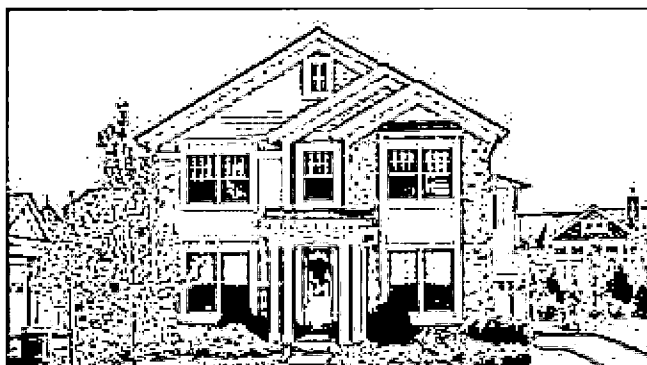
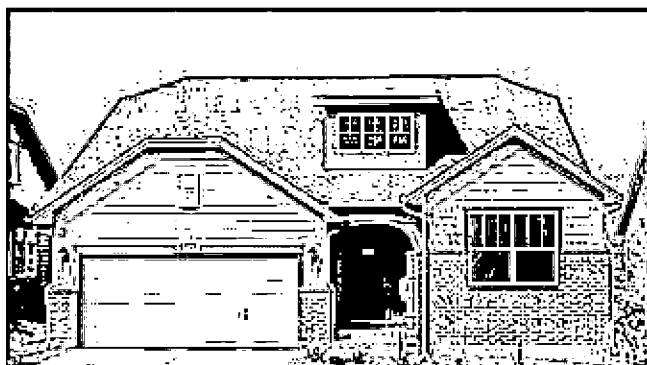
Cottage / Bungalow

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 8-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical roof massing
- Small roof dormers
- Steep forward facing gables
- Blend of materials with rustic elements
- Smaller scaled elevations
- Bay windows with multi pane windows
- Off center front portico and entrance
- Bracketed elements and shutters
- Varied use of color
- Areas of accent siding: board & batten, half timber framing, vertical siding, etc.





Craftsman

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 6-10:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Blend of stone, siding, shake siding
- Cottage style window grilles
- Dominant front and side porches
- Areas of shake accent siding
- Varied use of color
- Shed dormers with multiple windows
- Articulated, box bay overhangs
- Brackets and other wood or comparable trim details





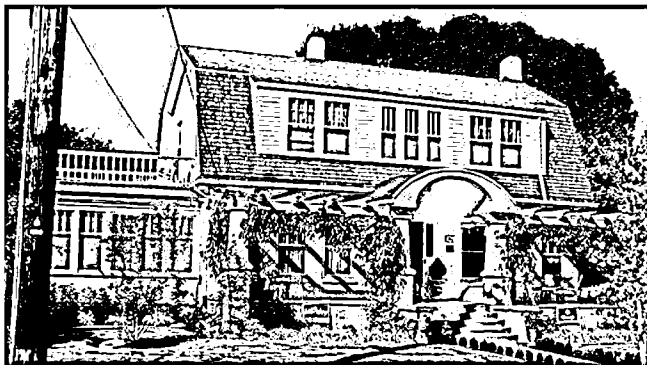
Dutch Colonial

General Elevation Requirements:

- 4-8:12 front to back roof slope
- Varied side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Gambrel roof shape typical with 12" overhangs
- Dormer accents at pitch change with gambrel roof
- Gambrel end louver / vent details
- Multi-patterned siding or roof shingles are common
- Bay windows and decorative window accents
- Cantilevered second story over porch at entry
- Use of shingle and varied accent siding





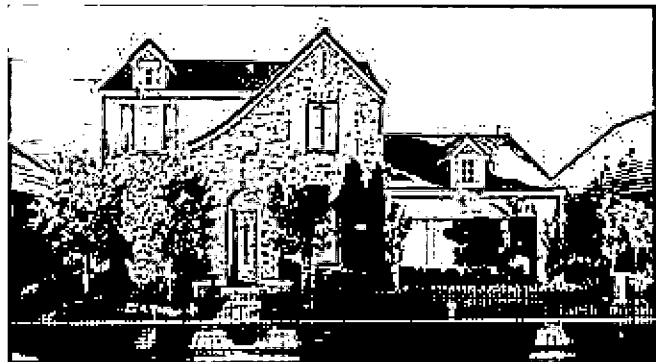
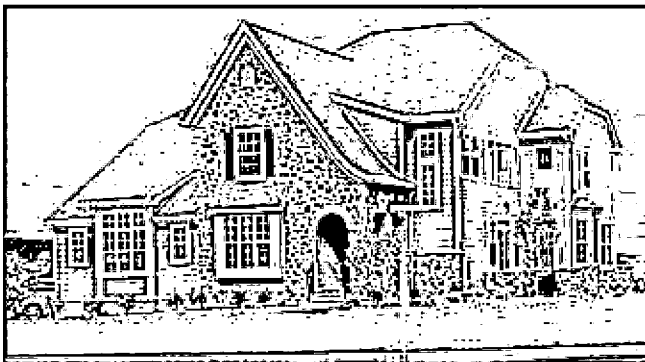
European

General Elevation Requirements:

- 5-10:12 front to back roof slope
- 6-14:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Distinct use of stone or brick with stucco accents
- Steeply pitched roofs utilizing a variety of styles
- Decorative dormer windows and gable features
- Arched openings and window treatments
- Tall windows accompanied with shutters
- Historical and elaborate detailing



Farmhouse

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 7-11:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Simple facade massing with "added onto" appearance
- Functional porches and informal spatial arrangements
- Varied window trim and band boards
- Numerous column styles
- Simplified components from Greek, Georgian and Victorian homes
- Panel and louvered shutters

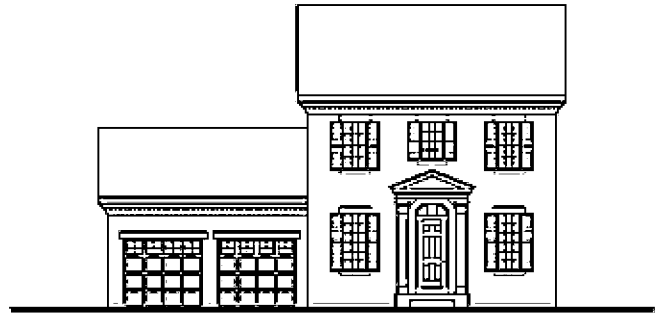




Federal / Adam

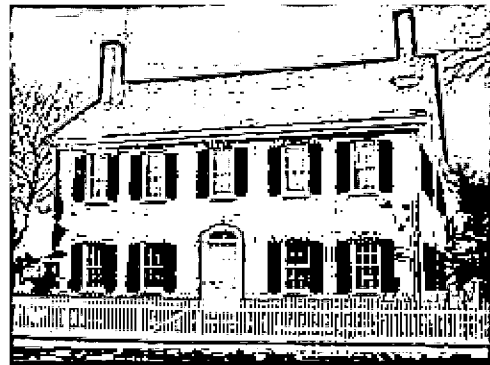
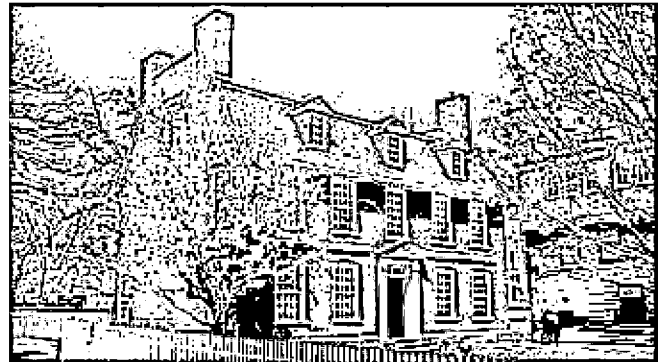
General Elevation Requirements:

- 4-8:12 front to back roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed



Style Specific Elements & Features:

- Simple box shape
- Classical, pedimented entry over porch
- Windows symmetrically arranged, aligned in rows and columns
- Classically ordered columns and details
- Built up cornice with crown moulding and dentils
- Traditional roof scapes



French Country

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 7-11:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Decorative gable and porch treatments
- Arched window and door elements
- Panelized or rustic board shutters
- Accent windows and dormers
- Rustic blend of stone, siding and stucco
- Rough sawn simple wood or comparable columns and details
- Various dormer styles



Georgian

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 6-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- 2 story dominant facade massing
- Formally organized window placement with decorative crown heads and trim
- Hipped roof with multiple dormers on main body
- Classical entry porticos and columns
- Shutters and central Palladian windows
- Decorative eave and frieze molding



Greek Revival

General Elevation Requirements:

- 4-8:12 front to back roof slope
- 8-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Classical Greek columns extending 2 stories at front
- Dominant, center pediment over entry
- Large centered gables are prevalent
- Built up cornice with crown moulding and dentils
- Windows symmetrically arranged, aligned in rows and columns



Hill Country / West Farmhouse

General Elevation Requirements:

- 4-8:12 front to back roof slope
- 7-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical façade
- Dominant, front facing gables
- King post with struts under main gable
- Areas of accent siding: board & batten, shake, etc.
- Masonry wainscot at base
- Standing seam metal accent roofs



Italianate

General Elevation Requirements:

- 4-6:12 front to back roof slope
- 6-10:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical façade and massing
- Wide cornice under multiple large scaled, uniformly spaced brackets
• Minimal, single story entry with built up trim
- Masonry wainscot permitted
- Windows often paired under a double, arched head
- Arched and square heads above windows



New England Cape / Saltbox

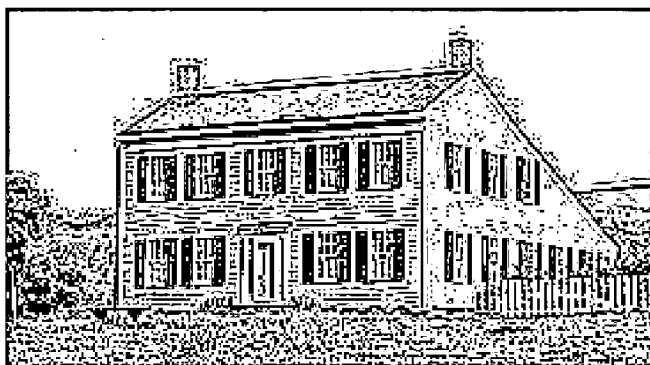
General Elevation Requirements:

- 6-10:12 front to back roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed



Style Specific Elements & Features:

- Simple box shapes with shed roofs
- Typically 2 story front elevation massing, 1 story at rear elevation massing
- Second floor may cantilever supported by brackets
- Symmetrical, centered entry, flanked by windows
- Windows symmetrically arranged, aligned in rows and columns
- Predominantly side facing gables



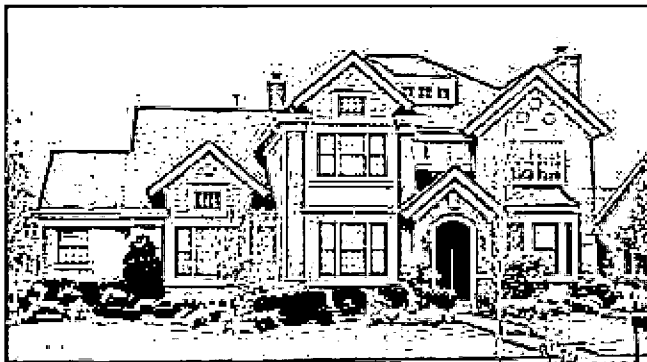
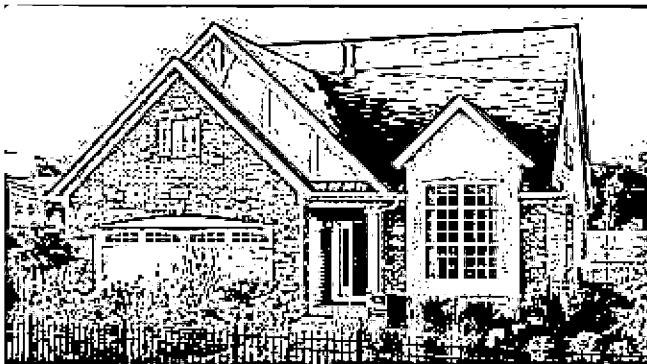
Old English

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 7-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- "Story Book" picturesque design
- Steeply pitched cross gables and varied roof lines
- Triple window patterns with multiple muntin divisions
- Stone, brick and stucco facades with simple decorative window and door trim
- Minimal roof eaves and overhangs



Prairie and Savanna

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 4-6:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Symmetrical and asymmetrical massings
- Style specific window grilles
- Multiple window patterns with varied heights and widths
- Wide roof overhangs typically (18"-24")
- Emphasis on horizontally of massing and materials
- Front and side entry porches encouraged





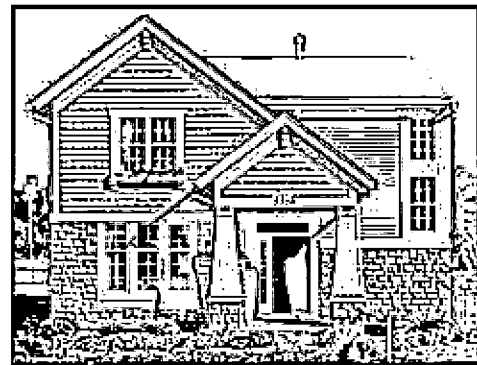
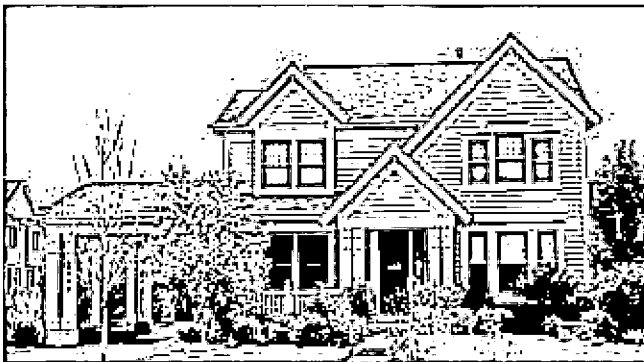
Shingle

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 7-14:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical elevation massing and uniform surfaces
- Blend of hip & gable roofs
- Single and multiple set windows
- Stone masonry and shake siding
- Modest covered entries and porches
- White trim, natural color shake siding
- Accent color siding and shutter features
- Variety of column styles





Southern Classical

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 10-12:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical elevation massing
- Returned eaves and cornices
- Classical pedimented dormer detailing
- Classical ordered columns and proportions
- Bay windows
- Detailed window and door surrounds
- Modest porches and entries



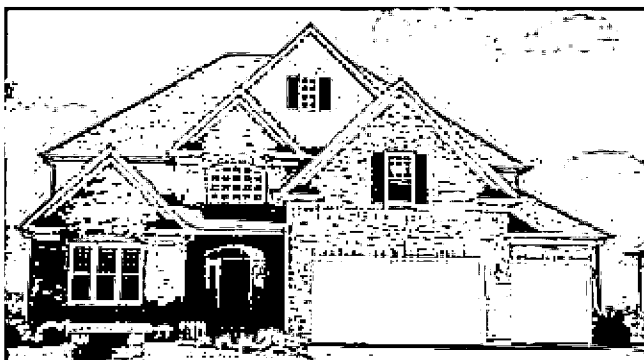
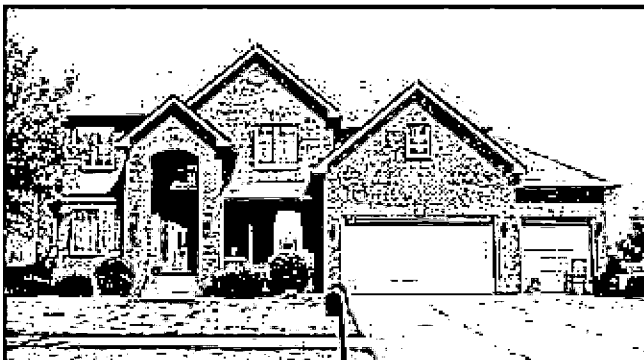
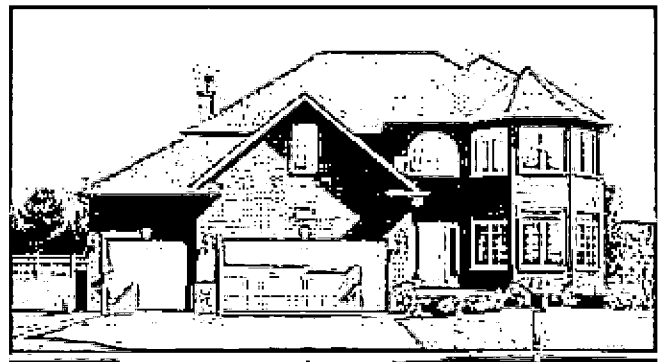
Suburban Luxury

General Elevation Requirements:

- 6-9:12 front to back roof slope
- 6-14:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Two-story entry feature with an arched top
- Forward facing gables and Hip roofs
- Paired or triple windows with classical heads and sills
- Full masonry front elevations with minimal detail
- Angle or Box Bay windows
- Classical proportions with complex eave returns





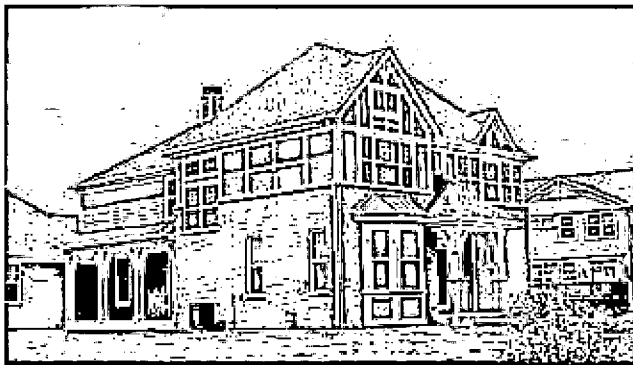
Tudor Revival

General Elevation Requirements:

- 5-8:12 front to back roof slope
- 10-14:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Blend of gable and hip roofs
- Decorative half timbering trim details
- Facade dominated by prominent cross gables
- Tall fenestration with multi-pane glazing
- Carpenter built brackets and other decorative elements
- Brick or Stone base with a variety of materials on the upper floor





Victorian / Queen Anne

General Elevation Requirements:

- 4-8:12 front to back roof slope
- 10-14:12 side to side roof slope
- Architectural grade shingles
- Varied window grille patterns
- Vinyl products with minimum .044 inch thickness allowed on sides and rear
- Cedar and cementitious (Hardie) siding allowed
- Masonry and non-masonry elevations allowed

Style Specific Elements & Features:

- Asymmetrical façade
- Dominant, front facing gables
- Patterned shingle siding in varying designs
- Areas of contrasting accent siding
- Bay windows
- Standing seam metal roof accents
- Decorative frieze and rake detailing with brackets
- Ornate porch columns
- Intricate gable brackets
- Built up window head trim



Springbank Pre-Permitting Design Approval Process:

Submittal

Applicant shall submit a master set of the Representative Design Drawings (RDD) to BSB Design and the Declarants of Springbank. The submittal shall include one original or electronic documents and may consist of any combination of the following for each proposed plan:

- Design drawings of front, side and rear elevations
- Photographs of front, side and rear elevations
- Product brochures/collateral of front, side and rear elevations
- Description/Illustrations of representative exterior building materials/manufacturers

Note: Architectural construction documents are not required for the pre-permit design approval.

Review and Evaluation

Within 14 calendar days of receipt, BSB Design shall evaluate the RDD package for conformance to the Springbank Architectural Guidelines and return one original package with an approval status together with any deficiencies so noted on the documents. The approval status may be any one of the following:

- a. Approved as submitted, no resubmittal required.
- b. Approved as noted, no resubmittal required. In this case, specific elements that are deemed deficient will be identified. Provided the noted deficiencies are addressed in the permit submittal, the plans will be approved for permit.
- c. Approved as noted, resubmittal is required. In this case, specific elements that are deemed deficient will be identified so that they may be addressed and verified in the subsequent RDD resubmittal.
- d. Rejected, resubmittal is required. In this case, specific elements that are deemed deficient will be identified so that they may be addressed and verified in the subsequent RDD resubmittal.

Note: In the event of a required RDD resubmittal, the processes noted in items 1 & 2 above shall be followed. However, should BSB Design identify similar or other deficiencies in the resubmittal as in the initial submittal; prior to taking action, BSB Design shall schedule a meeting with the Applicant to discuss the merits of the submittal with the intent of reaching an approval.

In the event that an approval consensus is not reached during this meeting, then the applicant may either resubmit, following the process noted in item 1 & 2 above, or elect to meet with BSB Design to discuss the merits of the submittal with the intent of reaching an approval.

Construction Documents

Once a master set of RDD is approved according to this Pre-Permit Design Approval Process, no further design approval shall be required. The Applicant may proceed through the typical Village of Plainfield building permitting process. The Village of Plainfield Building Department will review the submitted Construction Documents for conformance with the approved RDD. If inconsistencies exist between the RDD and submitted Construction Documents, a permit will not be issued until the inconsistencies are corrected.



Pre-Permitting Design Application:

Date: _____

Applicant shall submit Representative Design Drawings (RDD) for review as outlined in the Springbank Pre-Permitting Design Approval Process, as outlined on Page 47.

Lot #: _____ Home Address: _____

Desired Architectural Style: _____ Design Guidelines Page: _____

List the Style Specific Elements & Features intended to be used:

- 1) _____
- 2) _____
- 3) _____
- 4) _____
- 5) _____
- 6) _____

Square footage of Home: _____ Drawings Dated: _____

Builder / Developer: _____ Contact Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____

E-Mail Address: _____

Date Submitted: _____

Approval Status:

- Approved as submitted, no resubmittal required
- Approved as noted, no resubmittal required
- Approved as noted, resubmittal required
- Rejected, resubmittal required

Reviewed By: _____

Date Reviewed: _____

Comments: _____
